




**PART 5**

**GENERAL BUSINESS AND OTHER ZONING DISTRICTS**

**Section 501. Designation of General Business and Other Zoning Districts and Purpose Statements.**

See Table 5-1 herein this Section for the designations and purpose statements of the respective General Business and Other Zoning Districts which are shown on the Borough Zoning Map:

**TABLE 5-1  
 GENERAL BUSINESS AND OTHER ZONING DISTRICTS**

GENERAL BUSINESS AND OTHER ZONING DISTRICT NAMES	GENERAL BUSINESS AND OTHER ZONING DISTRICT PURPOSE STATEMENTS	REPRESENTATIVE IMAGES
<b>Office Zoning District (OFF)</b>	To provide a suitable environment for certain types of business and professional office uses and those uses which are compatible with and can be located within an established, traditional mixed use community.	
<b>Commercial General Zoning District (CG)</b>	To provide a suitable environment for a variety of general and automobile-oriented business and light industrial uses and those uses which are compatible with and can be located within an established, traditional mixed use community.	
<b>Industrial Zoning District (IND)</b>	To provide a suitable environment for a variety of general industrial uses and those uses which are compatible with and can be located within an established, traditional mixed use community.	

**Section 502. Permitted Uses.**

See Table 5-2 herein this Section for the types of uses permitted in the respective General Business and Other Zoning District as set forth by this Chapter. Uses are divided into those Permitted by Right "P" (zoning decision by Zoning Officer); Permitted by Special Exception "SE" (zoning decision by Zoning Hearing Board,) and Permitted by Conditional Use "CU" (zoning decision by Borough Council). Many of the uses permitted by the above three (3) categories must comply with certain criteria, which are found in Part 11 of this Chapter. The specific section numbers of Part 11 where the criteria are located are noted in the table. Uses not listed in the table below or identified by "N" shall specifically not be permitted in the applicable General Business and Other Zoning Districts:

**TABLE 5-2  
 PERMITTED USES – GENERAL BUSINESS AND OTHER ZONING DISTRICTS**

TYPES OF USES	OFFICE ZONING DISTRICT (OFF)	COMMERCIAL GENERAL ZONING DISTRICT (CG)	INDUSTRIAL ZONING DISTRICT (IND)	SECTION REFERENCE FOR SPECIFIC USE REGULATIONS
<b>A. NON-RESIDENTIAL USES</b>				
<b>A.1 COMMERCIAL USES</b>				
Animal Hospital	P	P	P	1103
Art Gallery	P	N	N	N/A
Automobile, Boat, Heavy Equipment, Mobile / Manufactured Home, Recreational Vehicle, and Other Similar Motor Vehicle Rental / Sales, Repair / Service, Washing, and/or Fuel / Gas Sales	N	P	P	1103
Bank	P	P	N	N/A
Beer and Ale Wholesale Distribution	N	P	P	N/A
Commercial Recreation, Indoor	N	P	P	N/A
Commercial Recreation, Outdoor	N	P	N	1103
Convenience Store	N	P	N	1103
Copy Shop / Business Service	P	P	P	N/A
Craftsman / Artisan Studio	N	P	P	N/A
Farmer's / Flea Market, Outdoor	N	P	P	1103
Financial Service, Other	P	P	N	N/A
Food Service	N	P	P	N/A
Funeral Home	N	P	P	1103
Heliport	N	N	P	N/A
Home Improvement Center, Lumber Sales, and Building Materials Sales	N	P	P	1103
Hotel	P	P	N	N/A
Kennel, Commercial	N	P	P	1103
Laundry & Dry Cleaning Facility, Personal	P	P	N	N/A
Liquor Store	N	P	N	N/A
Mini-Storage Warehouse	N	P	P	1103
Motel	N	P	N	N/A
Nightclub	N	P	P	1103
Office, Business and Professional	P	P	N	N/A
Office, Medical	P	P	N	N/A
Parking Lot / Parking Structure	P	P	P	1103

TYPES OF USES	OFFICE ZONING DISTRICT (OFF)	COMMERCIAL GENERAL ZONING DISTRICT (CG)	INDUSTRIAL ZONING DISTRICT (IND)	SECTION REFERENCE FOR SPECIFIC USE REGULATIONS
Personal Service	P	P	N	N/A
Restaurant	P	P	N	N/A
Retail Business	N	P	N	N/A
School, Commercial	P	P	N	N/A
School, Vocational	N	P	P	N/A
Sexually Oriented Businesses and/or Related Uses	N	N	P	1103
Shopping Center, General	N	P	N	N/A
Tattoo Parlor / Body Piercing	N	P	N	N/A
Tavern / Bar	N	P	P	1103
Theater, Indoor	N	P	N	N/A
Therapeutic Massage Facility	P	P	N	N/A
Veterinary Office	P	P	P	N/A
<b>A.2 INDUSTRIAL USES</b>				
Automobile Wrecking, Junk, and Scrap Storage and Sales	N	N	P	1104
Industrial Use, Heavy	N	N	P	N/A
Industrial Use, Light	N	P	P	N/A
Laundry & Dry Cleaning Facility, Industrial	N	N	P	N/A
Mineral Extraction	N	N	P	1104
Outdoor Storage	N	N	P	Part 7
Research and Development	P	P	P	N/A
Solid Waste Transfer Facility	N	N	P	N/A
Warehousing, Distribution, and Wholesaling	N	N	P	N/A
<b>A.3 INSTITUTIONAL / CIVIC USES</b>				
Cemetery	N	P	P	1105
Clinic, Medical / Urgent Care	P	P	N	N/A
Clubhouse or Lodge, Private	P	P	P	1105
Community Center	N	P	N	N/A
Convention Center	N	P	P	N/A
Daycare, Commercial	P	P	N	1105
Emergency Services	N	P	P	N/A
Government Facility, Other Than Municipal Owned Use	P	P	P	N/A
Group Care Facility	N	P	N	1105

TYPES OF USES	OFFICE ZONING DISTRICT (OFF)	COMMERCIAL GENERAL ZONING DISTRICT (CG)	INDUSTRIAL ZONING DISTRICT (IND)	SECTION REFERENCE FOR SPECIFIC USE REGULATIONS
Hospital	P	P	N	1105
Library	P	P	N	N/A
Museum	N	P	N	N/A
Municipal Owned Use	P	P	P	N/A
Park, Playground, and Other Non-Commercial Outdoor Recreational Use	P	P	N	1105
Place of Worship	P	P	P	N/A
Post Office	P	P	N	N/A
Public / Private Works Facility	P	P	P	N/A
Recycling Collection Point	N	P	P	N/A
School, Public or Private	P	P	P	N/A
Treatment Center	N	P	P	1105
University / College	P	N	N	N/A
<b>A.4 FORESTRY / AGRICULTURE USES</b>				
Agricultural Operation	P	P	P	1106
Community Garden	P	P	P	1106
Forestry (Timber Harvesting)	P	P	P	1106
Plant Nursery	N	P	P	N/A
<b>A.5 MISCELLANEOUS USES</b>				
Communications Antenna only	P	P	P	1107
Communications Antenna, Communications Tower, and Communications Equipment Building	P	P	P	1107
<b>B. SPECIFIC ACCESSORY USES</b>				
Automated Banking Facility	P	P	N	1108
Community Garden	P	P	P	1108
Drive-Thru Facility for Permitted Use	N	P	N	1108
Heliport	N	N	P	N/A
Outdoor Café / Dining	P	P	P	1108
Outside Display and Sales	N	P	P	1108

P Permitted by Right (zoning decision by Zoning Officer)  
 SE Permitted by Special Exception Use (zoning decision by Zoning Hearing Board)  
 CU Permitted by Conditional Use (zoning decision by Borough Council)  
 N Not Permitted

**Section 503. Area and Design Requirements.**

See Tables 5-3 – 5-5 herein this Section for the area and design requirements for all development activities and uses within the respective General Business and Other Zoning Districts. Additionally, to the maximum extent feasible, all development activities and uses shall respect, maintain, and be compatible with the predominant development pattern, context, and character features of the adjacent and nearby buildings / structures and development including height, scale, setback, orientation, lot access, and off-street parking. Unless specifically listed herein this Section and Part 6 of this Chapter relating to *Development Compatibility Overlay Zoning District (DCO)*, applicants for new development and uses may, and are strongly encouraged, to utilize the other development compatibility design guidelines and standards set forth in Part 6 of this Chapter relating to *Development Compatibility Overlay Zoning District (DCO)*:

**TABLE 5-3  
 AREA AND DESIGN REQUIREMENTS  
 OFFICE  
 ZONING DISTRICT (OFF)**

AREA / DESIGN FEATURES	PERMITTED USES	
	ALL USES, UNLESS SPECIFICALLY LISTED IN PART 11	ACCESSORY USE OR STRUCTURE, OTHER THAN SPECIFIED HEREIN ELSEWHERE THIS CHAPTER INCLUDING PART 7, PART 9, AND PART 11 OF THIS CHAPTER
Net Lot Area - Minimum	2,000 sq. ft.	Included as part of total minimum lot area for principal use.
Lot Width at Front Setback Line – Minimum, Interior Lot	20 ft.	Included as part of total minimum lot width for principal use.
Lot Width at Front Setback Line – Minimum, Corner Lot	35 ft.	Included as part of total minimum lot width for principal use.
Front Setback - Minimum	30 ft.	Included as part of the minimum front setback for the principal use.
Side Setback – Minimum	10 ft. each side	Included as part of the minimum side setback for the principal use.
Rear Setback – Minimum	30 ft.	Included as part of the minimum rear setback for the principal use.
Impervious Lot Coverage - Maximum	65%	Included as part of total maximum impervious coverage for principal use.
Vegetative Coverage - Minimum	30%	Included as part of total minimum vegetative coverage for the principal use.
Building Height / Structure Height - Maximum	40 ft.	Not permitted to be higher than the principal structure.

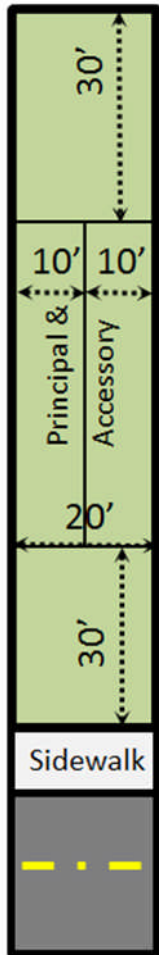
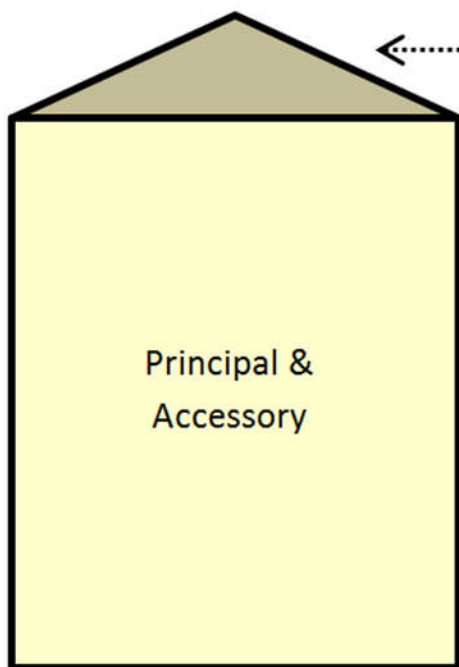


Figure 5.1  
Typical OFF Zoning District Area / Design Features Example  
(Abutting Lots Not Developed)  
(Not Drawn to Scale)



← 40', but accessory structure not permitted to be higher than the principal structure

Figure 5.2 Typical OFF Zoning District Building Height Example  
(Abutting Lots Not Developed)  
(Not Drawn to Scale)

**TABLE 5-4  
 AREA AND DESIGN REQUIREMENTS  
 COMMERCIAL GENERAL  
 ZONING DISTRICT (CG)**

AREA / DESIGN FEATURES	PERMITTED USES	
	ALL USES, UNLESS SPECIFICALLY LISTED IN PART 11	ACCESSORY USE OR STRUCTURE, OTHER THAN SPECIFIED HEREIN ELSEWHERE THIS CHAPTER INCLUDING PART 7, PART 9, AND PART 11 OF THIS CHAPTER
Net Lot Area - Minimum	2,000 sq. ft.	Included as part of total minimum lot area for principal use.
Lot Width at Front Setback Line – Minimum, Interior Lot	20 ft.	Included as part of total minimum lot width for principal use.
Lot Width at Front Setback Line – Minimum, Corner Lot	35 ft.	Included as part of total minimum lot width for principal use.
Front Setback - Minimum	15 ft.	Included as part of the minimum front setback for the principal use.
Side Setback – Minimum	5 ft. each side	Included as part of the minimum side setback for the principal use.
Rear Setback – Minimum	15 ft.	Included as part of the minimum rear setback for the principal use.
Impervious Lot Coverage - Maximum	70%	Included as part of total maximum impervious coverage for principal use.
Vegetative Coverage - Minimum	25%	Included as part of total minimum vegetative coverage for the principal use.
Building Height / Structure Height - Maximum	40 ft.	Not permitted to be higher than the principal structure.

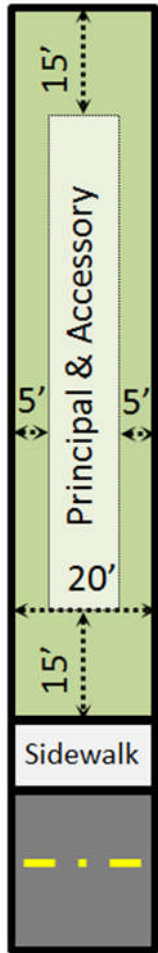
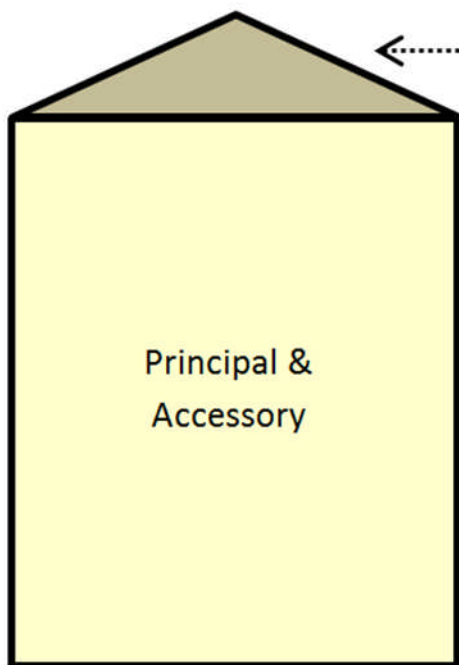


Figure 5.3  
Typical CG Zoning District Area / Design Features Example  
(Abutting Lots Not Developed)  
(Not Drawn to Scale)



← 40', but accessory structure not permitted to be higher than the principal structure

Figure 5.4 Typical CG Zoning District Building Height Example  
(Abutting Lots Not Developed)  
(Not Drawn to Scale)



**TABLE 5-5  
 AREA AND DESIGN REQUIREMENTS  
 INDUSTRIAL  
 ZONING DISTRICT (IND)**

AREA / DESIGN FEATURES	PERMITTED USES	
	ALL USES, UNLESS SPECIFICALLY LISTED IN PART 11	ACCESSORY USE OR STRUCTURE, OTHER THAN SPECIFIED HEREIN ELSEWHERE THIS CHAPTER INCLUDING PART 7, PART 9, AND PART 11 OF THIS CHAPTER
Net Lot Area - Minimum	3,000 sq. ft.	Included as part of total minimum lot area for principal use.
Lot Width at Front Setback Line – Minimum, Interior Lot	30 ft.	Included as part of total minimum lot width for principal use.
Lot Width at Front Setback Line – Minimum, Corner Lot	45 ft.	Included as part of total minimum lot width for principal use.
Front Setback - Minimum	15 ft.	Included as part of the minimum front setback for the principal use.
Side Setback – Minimum	15 ft. each side	Included as part of the minimum side setback for the principal use.
Rear Setback – Minimum	15 ft.	Included as part of the minimum rear setback for the principal use.
Impervious Lot Coverage - Maximum	80%	Included as part of total maximum impervious coverage for principal use.
Vegetative Coverage - Minimum	20%	Included as part of total minimum vegetative coverage for the principal use.
Building Height / Structure Height - Maximum	40 ft.	Not permitted to be higher than the principal structure.

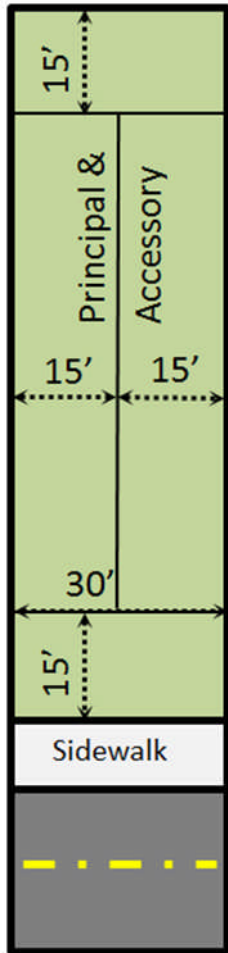
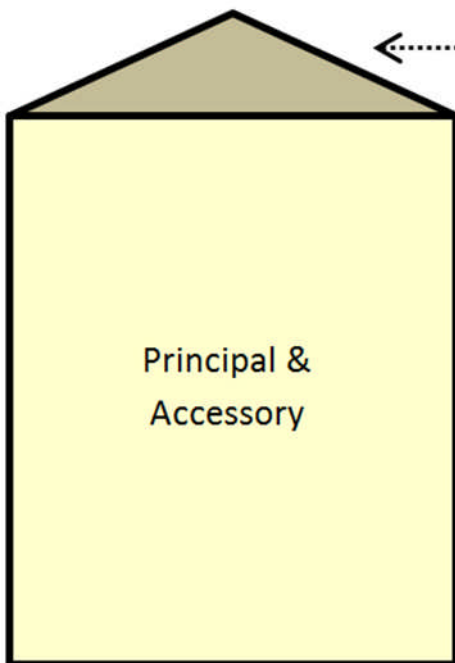


Figure 5.5  
Typical IND Zoning District Area / Design Features Example  
(Abutting Lots Not Developed)  
(Not Drawn to Scale)



← 40', but accessory structure not permitted to be higher than the principal structure

Figure 5.6 Typical IND Zoning District Building Height Example  
(Abutting Lots Not Developed)  
(Not Drawn to Scale)

**Section 504. Compliance with General Regulations and Specific Standards.**

Additionally all development activities and uses within the respective Residential Zoning Districts shall comply with all applicable general standards of this Chapter including but not limited to:

- A. General Regulations of Part 7 of this Chapter;
- B. Sign Regulations of Part 8 of this Chapter; and
- C. Lot Access, Parking, and Loading Regulations of Part 9 of this Chapter.

**Section 505. Overlay Zoning Districts.**

If located within or affected by the following overlay zoning districts, see Table 5-6 herein this Section, then development activities or uses within the respective General Business and Other Zoning Districts shall comply with the requirements of the applicable overlay zoning district provisions set forth in Part 6 of this Chapter:

**TABLE 5-6  
 OVERLAY ZONING DISTRICTS**

GENERAL BUSINESS AND OTHER ZONING DISTRICT	OVERLAY ZONING DISTRICTS			
	FLOODPLAIN OVERLAY ZONING DISTRICT (FPO)	AIRPORT OVERLAY ZONING DISTRICT (APO)	DEVELOPMENT COMPATIBILITY OVERLAY ZONING DISTRICT (DCO)	NATURAL RESOURCES OVERLAY ZONING DISTRICT (NRO)
<b>Office Zoning District (OFF)</b>	See Section 602 of this Chapter	See Section 603 of this Chapter	N/A	See Section 605 of this Chapter
<b>Commercial General Zoning District (CG)</b>	N/A	See Section 603 of this Chapter	N/A	See Section 605 of this Chapter
<b>Industrial Zoning District (IND)</b>	See Section 602 of this Chapter	See Section 603 of this Chapter	N/A	See Section 605 of this Chapter